

GOULBURN CHILDCARE

STATEMENT OF HERITAGE IMPACT



Prepared by

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For

Purdon Associates

On behalf of

Infinite Projects Fenwick Ply Ltd



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TABLE OF CONTENTS

1.0 INTRODUCTION	3
1.1 Background	3
1.2 The Site	3
1.3 Current Status	4
1.4 Development Controls	5
1.4.1 DCP 2009	5
1.4.2 LEP 2009	6
1.4.3 Good Design Statement	7
2.0 EXISTING AREA	8
3.0 CURRENT SITE	9
4.0 PROPOSED DEVELOPMENT	9
5.0 COMMENT	10
6.0 CONCLUSION	10
ATTACHMENT 1 DRAWINGS	11



1.0 INTRODUCTION

1.1 Background

Infinite Projects Fenwick Pty Ltd are proposing a new childcare centre adjacent to a multi-unit development on the site previously used by the Bowling Club which included 3 greens and a clubhouse. The site is within a conservation area and a Statement of Heritage Impact has been commissioned from Eric Martin & Associates to accompany the DA being prepared by Purdon Associates.

This report has been prepared by Eric Martin AM.

1.2 The Site

Some of the townhouses have been constructed on the former bowling club site but the area proposed for the childcare is a vacant area (refer Figure 1).



Figure 1: Aerial Image
Source: Google Maps, accessed 5 August 2024



1.3 Current Status

The site is within the Central Goulburn conservation area but is not individually listed. Refer Figure 2.

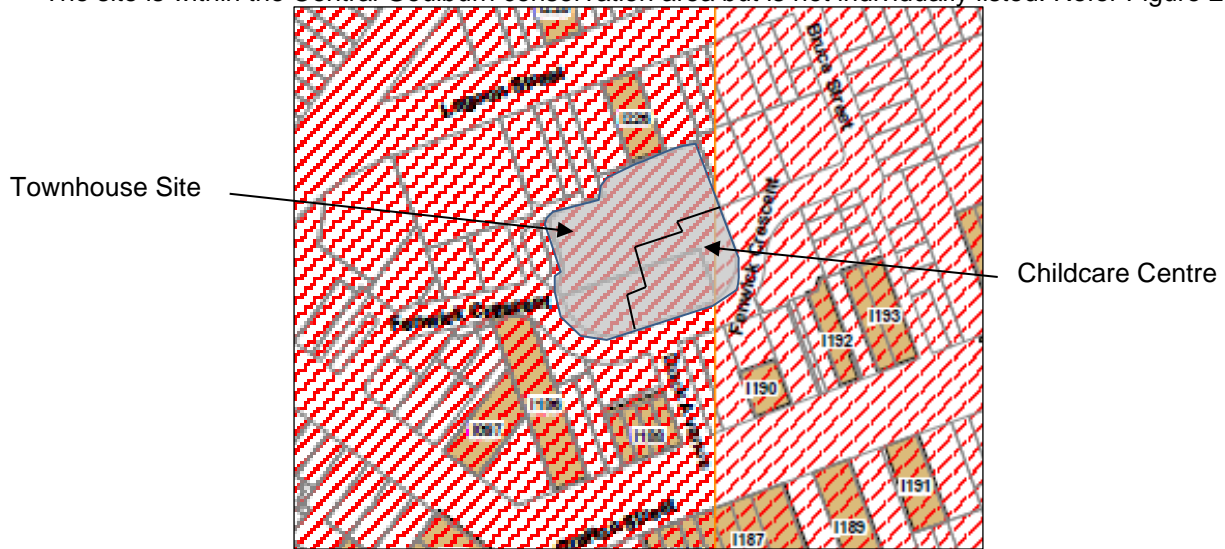


Figure 2: Site Plan

Source: Google Maps, accessed 29 November 2017

Individual Heritage sites that are nearby include:

15 Lagoon Street

c1914 two storey weatherboard building with back yard adjoining the site.

It is an American Saloon style building and is the only two storey weatherboard residence extant in Goulburn and makes a dominating presence in the streetscape. Fine fretwork and gable detailing, composite roof lines, arched entranceway and verandah awnings combine to present a building of character.



4 Grafton Street

Single story federation brick building with a large back yard that extends through to Fenwick Crescent.

It is significant for its contribution to the streetscape.



12-18 Grafton Street

A series of semi-detached single storey brick Victorian cottages which have had most of their back yards removed for a carpark.



32 Grafton Street

A federation single storey brick residence with fine detailing that has the rear part of the block subdivided, but did originally extend through to Fenwick Crescent.



1.4 Development Controls

The key controls related to heritage places in Goulburn are the Goulburn DCP 2009 and LEP 2009.

1.4.1 DCP 2009

3.1.1.3 What is a heritage conservation area?

A 'heritage conservation area' is a general area of heritage significance shown on the LEP Heritage Maps. Goulburn Mulwaree DCP 2009 – Last Amended 23 June 2016 Page 71 Goulburn Mulwaree Development Control Plan 2009 The heritage value of a conservation area lies not just with the heritage significance of individual buildings, but with other factors, including the general character of groups of buildings, the landform, subdivision pattern, and the history of development. Development in heritage conservation areas requires consideration of how the proposal will protect, preserve and reinforce the key characteristics of the conservation area. These key characteristics are generally described as contributory heritage.

3.1.1.4 What is contributory heritage?

Contributory heritage are buildings, sites and site features within a heritage conservation area that contribute to the overall heritage significance of the area. They are not individually listed as heritage items, but by virtue of their age, scale, materials, details, design style or intactness are consistent with the conservation area, and therefore reinforce its heritage significance. Contributory heritage has a collective significance and the alteration or loss of individual contributory heritage elements will generally erode the heritage significance of the area as a whole. Council's controls aim to retain contributory items in their significant form. These items however may be altered, provided that the proposal does not reduce their heritage significance

3.1.2.1 General Principles

Maintain the general scale, height and bulk and proportions of traditional buildings in the streetscape. Do not overwhelm the original building with an extension. Consider creating two separate buildings with a linkage. This helps retain the integrity of the original. Do not significantly alter original front facades of buildings in the CBD conservation area. Additions are best sited to the side or rear. Keep floor levels similar to adjoining buildings. Keep it simple – do not use a mixture of features from different eras or add pseudo historic features to new buildings.

3.1.3 Heritage development controls

Each development proposal, whether affecting a heritage item or a contributory item within a heritage conservation area, will have its own unique considerations and issues depending on whether the proposal is for renovations and extensions to an existing building, or a new building within a



conservation area or adjacent to a heritage item. Proposals for infill development should have regard to the Royal Australian Institute of Architects and NSW Heritage Office Guidelines for infill development in the historic environment (2005) and Heritage Office and Department of Urban Affairs and Planning (1996) Heritage Curtilages. Reference: LEP 2009 Clause 5.10.

3.1.3.11 Infill development

New development in heritage conservation areas and heritage streetscapes should be designed to respect neighbouring buildings and the character of the area or streetscape. The character of an area or streetscape can be uniform or have a mix of architectural styles. An appropriate reference point is usually the style of adjoining buildings. Infill development should not be a copy or replicate neighbouring heritage buildings. It should be in keeping with the character and appearance of neighbouring buildings and the wider heritage conservation area or heritage streetscape. Infill developments should be simpler in design than adjoining buildings. Modern materials can be used successfully. Consistent setback patterns are important to maintain visual uniformity. The massing of a building refers to its form, bulk and arrangement of elements. The new building should not be excessively bulky in relation to adjoining structures. Roof shape and silhouette are important determinants of form. Infill development in heritage conservation areas and heritage streetscapes should:

- ♣ respond positively to the character of adjoining and nearby buildings and demonstrate sympathetic bulk, mass and scale.
- ♣ achieve appropriate orientation, setbacks, materials and details.

1.4.2 LEP 2009

4.3 Height of buildings

(1) The objectives of this clause are as follows:

- (a) to ensure the height of buildings complements the streetscape or the rural character of the area in which the buildings are located,
- (b) to protect the heritage character and significance of buildings and avoid an adverse effect on the integrity of heritage items,
- (c) to ensure the height of buildings protects the amenity of neighbouring properties in terms of visual bulk, access to sunlight, privacy and views.

5.10 Heritage conservation

Note. Heritage items (if any) are listed and described in Schedule 5. Heritage conservation areas (if any) are shown on the Heritage Map as well as being described in Schedule 5. Requirements under clause 5.10 are:

(1) Objectives

The objectives of this clause are as follows:

- (a) to conserve the environmental heritage of Goulburn Mulwaree,
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,
- (c) to conserve archaeological sites,
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

(4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).



1.4.3 Good Design Statement

1.1 Vision

The broad vision for the CBD can be encapsulated in the following statement: **The Vision is to maintain and enhance Goulburn's CBD and its historic charm as a visually attractive destination for its people and visitors.** NOTE: "Historic charm" includes reference to "Heritage value or significance".

2.2 Strategies and Policies

- To manage physical change within the city through the promotion, protection, conservation of heritage items and precincts that contribute to the distinctive character, community tradition and special sense of place of the City of Goulburn.
- To create an appreciation and awareness of the extent and diversity of the environmental heritage of the City of Goulburn by identifying buildings, works, items, structures, relics or places which merit conservation by virtue of their particular aesthetic, archaeological, architectural, cultural, ecological, historic, landscape, natural, scientific, emotional, social or traditional significance to the City; and
- To achieve appropriate conservation and enhancement of heritage items and precincts identified in this plan through controls on demolition and alteration and on the form and character of new development in the proximity of such items, and by the discretionary provision of conservation incentives to protect environmental heritage.

While heritage features in the CBD are a dominant theme these are not the only features that contribute to the overall appearance and the design in the City – there is a broader perspective, which is partially implied in the Statement of Strategies and Policies. This broader perspective is reflected in the Vision Statement

3.2 Non Landmark or Non Heritage Sites

Design at these sites must:

- Not dominate adjoining or nearby heritage buildings in the scale and massing of the new development.
- Provide a positive contribution to the City's architectural landscape.
- Be clearly modern buildings but complement the design of nearby buildings

The preferred design approach to dealing with the redevelopment of sites not identified as landmarks or heritage sites is to:

- Utilise design cues from the surrounding to help create linkages and unity in the streetscape. Important design cues to consider are:
 - Fabric (external materials)
 - Height
 - Common horizontal lines (ridges, gutters, awnings, window heads, etc)
 - Strong vertical lines to exaggerate the building height.
 - Overall size, shape and proportion of neighbouring buildings
 - Architectural features/decoration (including awnings, parapets, cornices, mouldings, openings, recesses, articulation of walls)
 - Pitch and form of roof - Style, size, portion and position of the openings for windows and doors
 - Compatibility of material with other existing buildings in the locality



- Make its own contemporary architectural statement and does not mimic other buildings.
- Avoid monotonous facades with little relief or detail
- Design buildings to face public spaces for passive surveillance.
- Provide weather protection at street level. Reinstatement of verandah and balcony forms is encouraged.
- Improve lighting around the site to reduce risk to personal safety.
- Ensure buildings address the rear of the site (eg secondary building entrance, integration of private car parking area with public spaces/parking areas)
- Retain buildings that, while not heritage listed, contribute to the heritage significance and character of the CBD. "Contributory" buildings from the "Goulburn Heritage Study" (1983), "Goulburn Main Street Study" (1992) and those identified by the Goulburn Heritage Group are included in Appendix.
- Outdoor advertising must also be reflective of the design approach

Guidelines for Infill Development prepared by the NSW Heritage Office are also a useful document to assist with developing design solutions.

2.0 Existing Area

The buildings and setting around Fenwick Crescent are diverse in age, design and character but has had some redevelopment and renewal in the past few years and several vacant sites for future development. It includes:

- A more recent unit development to the south;
- A two story motel;
- Backyards of a series of fine c1900 single storey and 2 two storey cottages in Lagoon Street;
- A vacant site at the corner of Bruce Street and Lagoon Street (Refer Figure 3);
- Tennis club/courts in Bruce Street with vacant land behind;
- A single storey weather board small school in Fenwick Crescent (Refer Figure 8);
- A small modern cottage and garage opposite the site (Refer Figure 7);
- A 1960s two storey brick flats in Fenwick Crescent (Refer Figure 6);
- A car park and back yards along Fenwick Crescent;

Although in the conservation area there is no distinctive character along Fenwick Crescent, but all buildings are either one or two storeys high. There is no substantial street tree presence.





Figure 3: Vacant Site



Figure 4: Townhouses



Figure 5: View of Site



Figure 6: House Opposite Site



Figure 7: House Opposite Site



Figure 8: School Opposite Site

3.0 CURRENT SITE

The current site is vacant and is bordered by the recently constructed town houses as indicated in Figure 1 and photos (Refer Figure 4 and Figure 5) and the images in the proposed development drawings in attachment 1.

4.0 PROPOSED DEVELOPMENT

The proposed development is a single storey building with pitched woodland grey colorbond custom orb roof and grey face brick walls, charcoal grey aluminum doors and windows and a verandah to most sides. Refer Figure 9 below and drawings in attachment 1.



Figure 9: Drawing DA10



5.0 COMMENT

The height, scale and character of childcare centre is not unlike buildings in the conservation area. Most address Fenwick Crescent, and include single and two storey building with pitched roofs, a range of materials (brick, painted surfaces, timber and metal) with some two story terraces.

The development is quite compact but this is not unlike other terrace house development in the area. It will break down the scale against the new terraces which is more in keeping with the area.

The impact on all the adjacent heritage listed places is minimal as the development faces the back yards of the listed places and in most cases would hardly be seen when standing in front of the listed houses.

There is some landscape included in the development which is consistent with the area.

The overall impression will be a new development that will fit comfortably into the conservation area and improve the aesthetics of Fenwick Crescent. The development will have a minimum impact on heritage values.

6.0 CONCLUSION

The proposed childcare centre is considered to be a complex that will be a positive addition to this area and compliment the character of the conservation area.

The complex is modern but works with a range of materials and has a scale and form that is sympathetic to the area.

The adjacent heritage listed places are not adversely affected as the development is on the street at the rear of the listed properties.

There is minimal impact on the conservation area and heritage values with the proposed development.



ATTACHMENT 1 DRAWINGS



Childcare Centre, Fenwick Crescent, Goulburn, NSW

DA01	Title
DA02	Site Plan & Development Summary
DA03	Floor Plan (East Side)
DA04	Floor Plan (West Side)
DA05	Elevations
DA06	Elevations & Section
DA07	Area Plan
DA08	Exterior Lighting Plan
DA09	Roof Plan



PROJECT: CHILD CARE

ISSUE: DA

DRAWING TITLE: Title

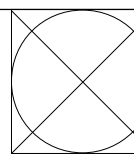
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PROJECT ADDRESS: FENWICK CRESCENT, GOULBURN

Issue date amendment



DATE: AUG. '24

DRAWN: HG

SCALE:

PR. NO: FENWICK CCC

DWG NO: DA01

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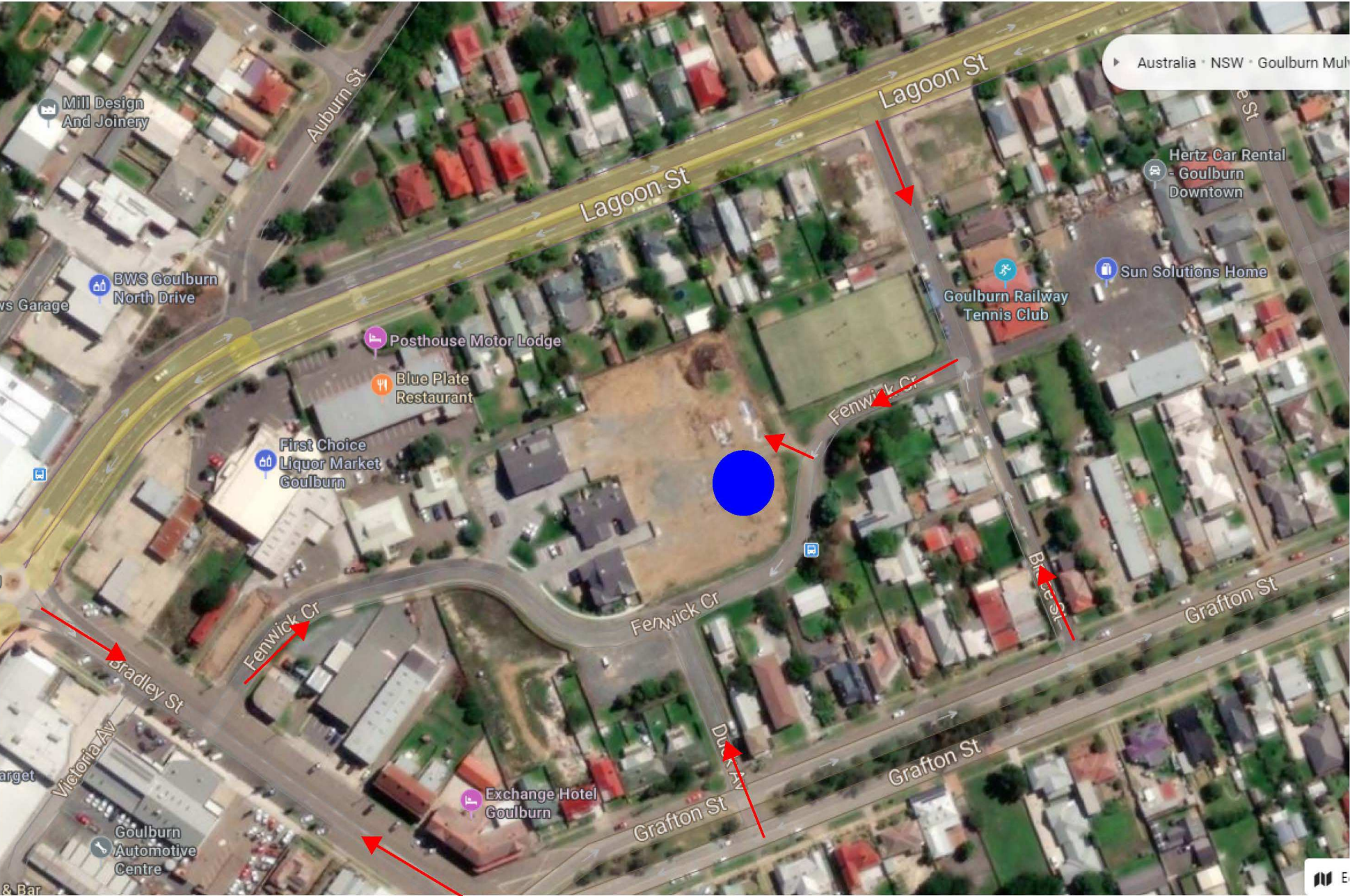


DEVELOPMENT COMPLIANCE SUMMARY:

17 FENWICK CRESCENT
PROPOSED 112 PLACE CHILDCARE CENTRE

	REQUIRED	PROPOSED	COMPLIES
CARS - 1 PER 4 CHILDCARE PLACES	28	29	YES
OUTDOOR - 7m2 PER SPACE	784	789	YES
INDOOR UNENCUMBERED - 3.5m2 PER SPACE			YES

17 Fenwick Crescent - Multiple access streets, off major streets



PROJECT: **CHILDCARE**
ISSUE: **DA**
DRAWING TITLE: **Site Plan & Development Summary**
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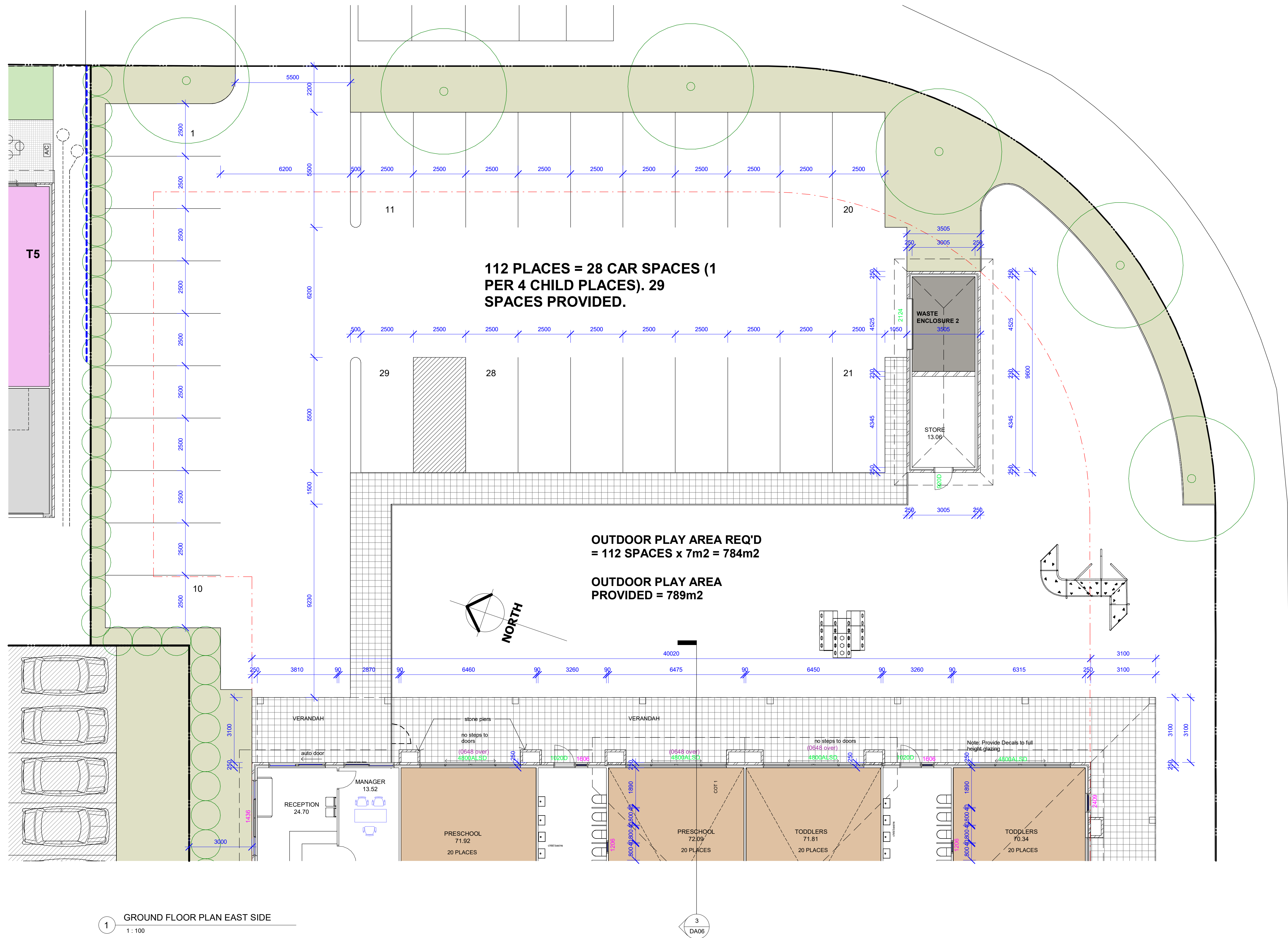
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1 GROUND FLOOR PLAN EAST SIDE
1:100

3
DA06

PROJECT: **CHILDCARE**
ISSUE: **DA**
DRAWING TITLE: **Floor Plan (East Side)**

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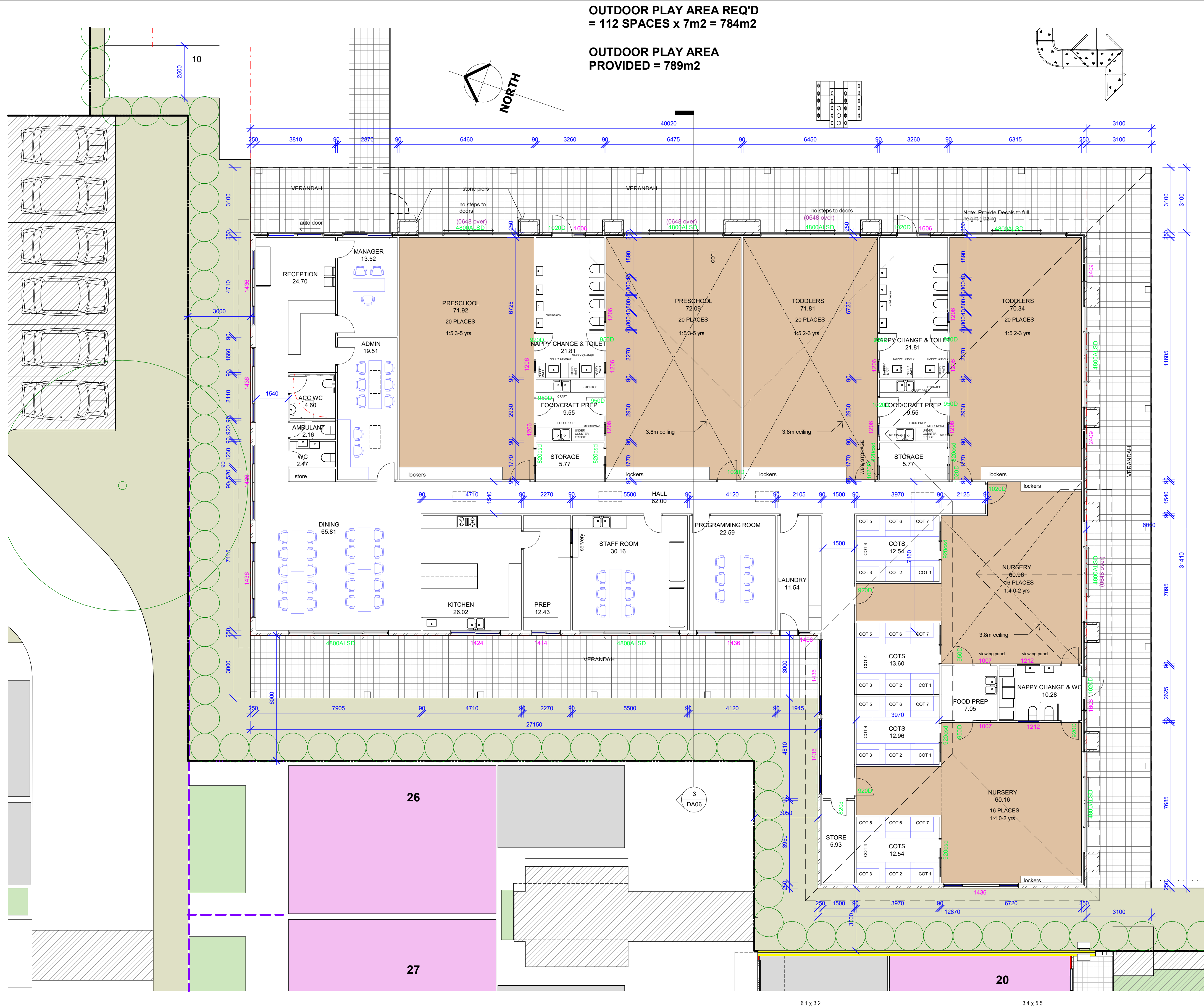
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1 GROUND FLOOR PLAN - WEST SIDE
1:100

PROJECT: CHILDCARE

ISSUE: DA

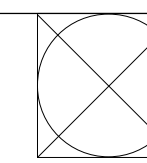
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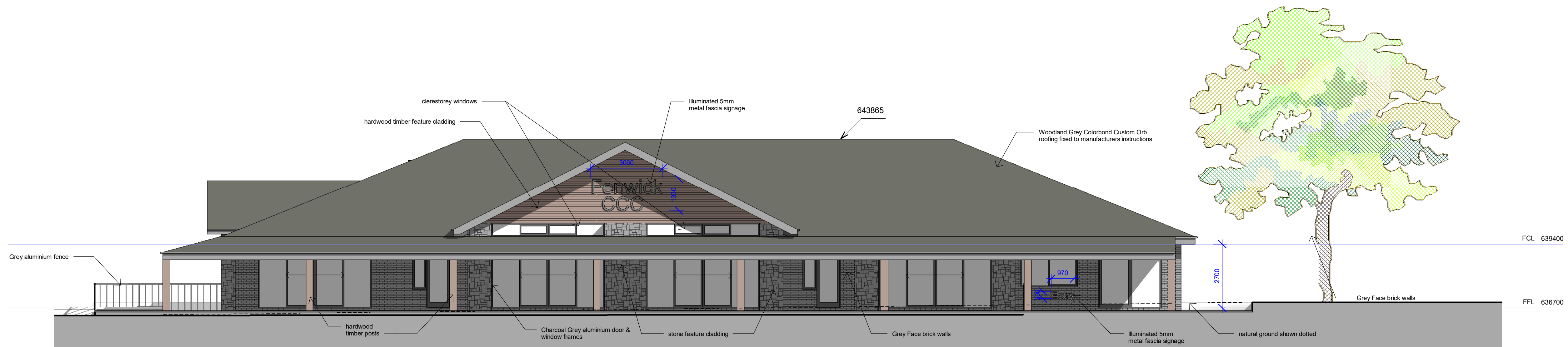
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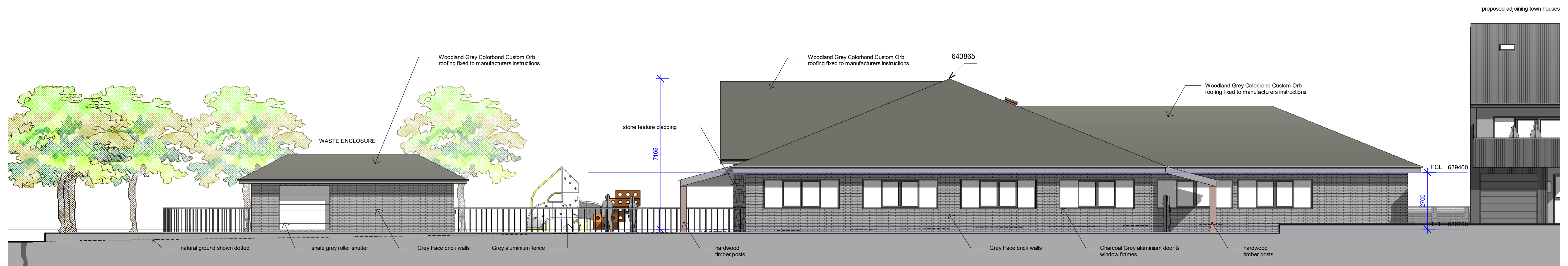
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1 EAST ELEVATION
1:100



2 NORTH ELEVATION
1:100

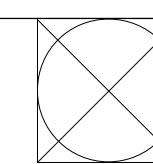
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ISSUE: **DA**
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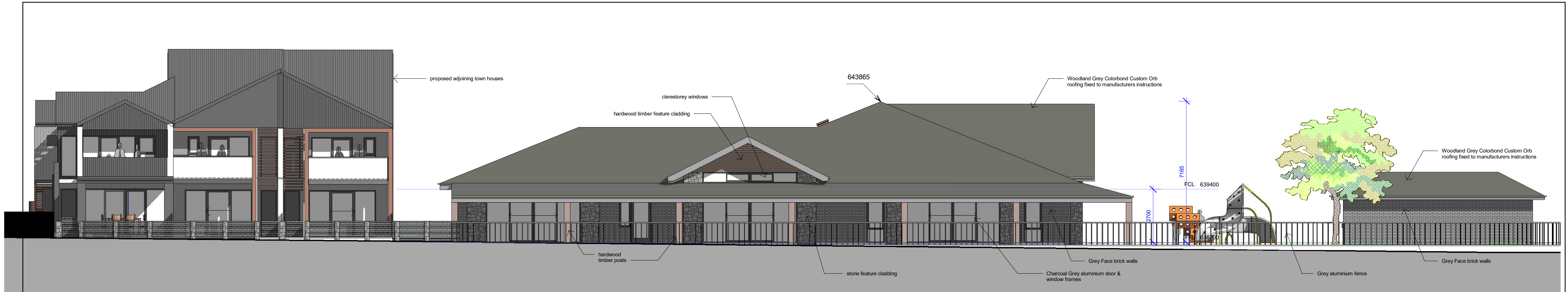


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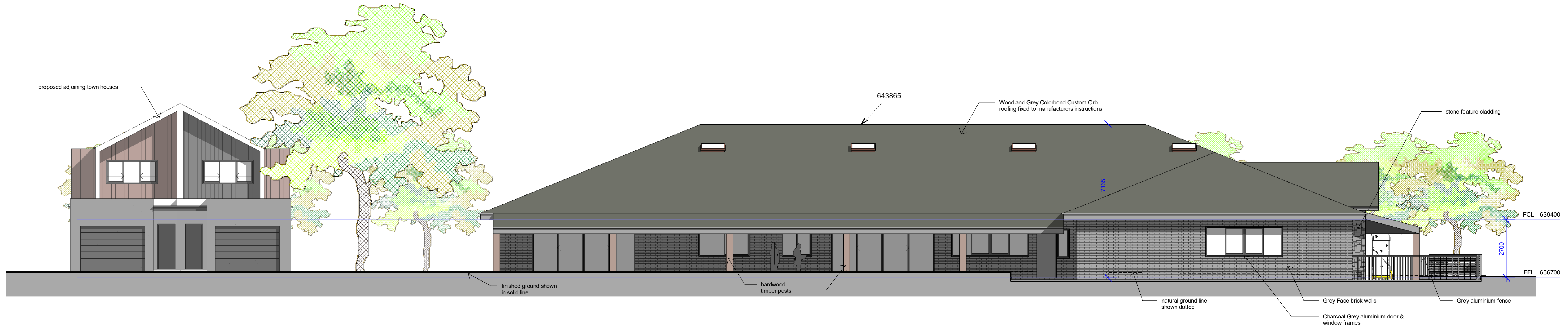
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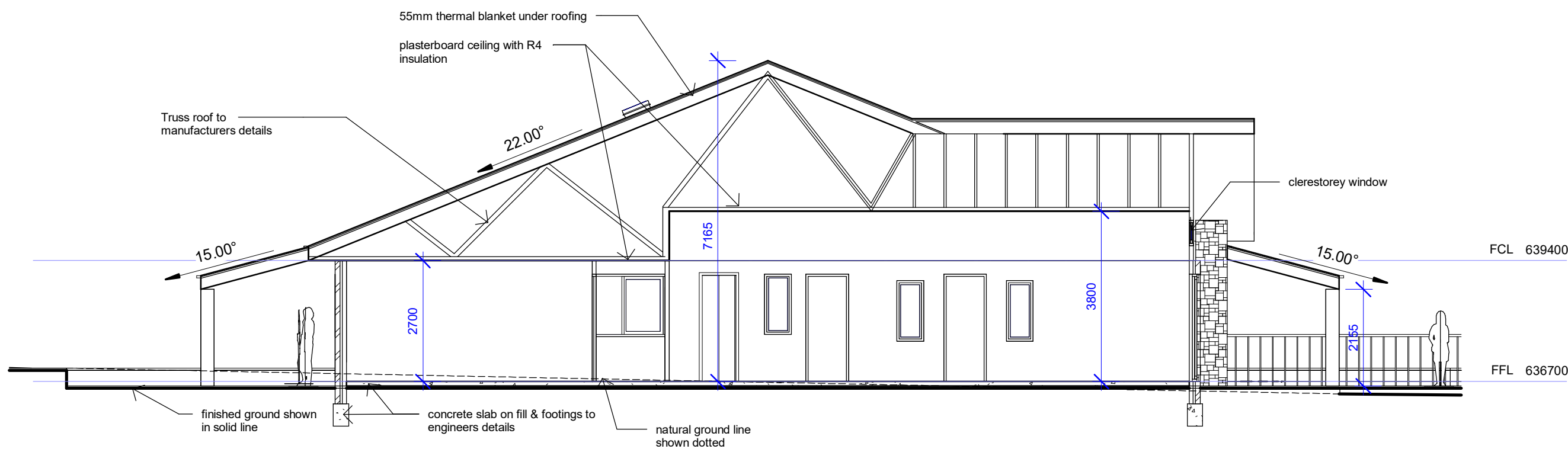
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1 SOUTH ELEVATION
1 : 100



2 WEST ELEVATION
1 : 100



3 SECTION A
1 : 100

- Smoke alarms and evacuation lighting to be installed throughout the building as per clause H306 of NCC 2022, Volume 2. Please note smoke alarms must be hardwired and interconnected so existing smoke alarms may need to be upgraded to meet compliance.
- Existing stairs are to comply with clause H502 of NCC 2022, Volume 2, or have constant goings and risers throughout each stair flight, winders dimensions constant throughout the flight, risers not taller than 250mm and the opening between risers not greater than 125mm. Spiral stairs must have constant tapered tread dimensions. Stairs must have a slip resistance in accordance with clause H502 of NCC 2022, Volume 2.
- Existing barriers and handrails are to comply with clause H503 of NCC 2022, Volume 2, or for existing barriers, have previously complied with the building code or relevant requirements, and is installed so that a person breaching the barrier could not fall more than 4m measured from the lowest part of the balustrade to the point where the balustrade is breached.
- If the property has a pool, the pool fencing and safety requirements are to comply with clauses HTP1 and HTP2 of NCC 2022, Volume 2.
- External windows, doors and roof lights are to be sealed as per part 3.12.3 of the NCC 2019, Volume 2 (BCA).
- Air leakage from roofs, walls and floors is to comply with part 3.12.3 of the BCA.
- Exhaust fans must be sealed as per part 3.12.3.4 of the BCA.
- Services must be insulated as per part 3.12.5 of the BCA, provided there is sufficient work space for a person to install the insulation.
- Ceiling, wall and sub-floor insulation is to be provided if it can be installed without the removal of more than 10% of the lining/covering of the relevant part and provided there is sufficient space in the relevant space/cavity to install insulation to achieve requirements for insulation R-values are as per part 3.12 of the BCA.

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ISSUE: **DA**
DRAWING TITLE: **Elevations & Section**

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Area Schedule (Gross Building)

Name	Area
CCC	928.45
WASTE/STORAGE	33.65
Grand total: 2	962.10

1 AREA PLAN
1 : 200

PROJECT: CHILDCARE

ISSUE: DA

DRAWING TITLE: Area Plan

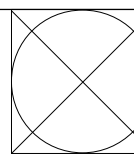
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LIGHTING LEGEND

✕ LED DOWNLIGHT MOUNTED TO EAVES SOFFIT OR WALL, OR BOLLARD LIGHT

all external lighting is to be in accordance with the Australian Standard AS1158.3.1 Pedestrian Lighting and the Crime Prevention Through Environmental Design (CPTED) General Code.

1 EXTERIOR LIGHTING PLAN
1 : 250

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ISSUE: DA

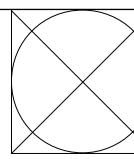
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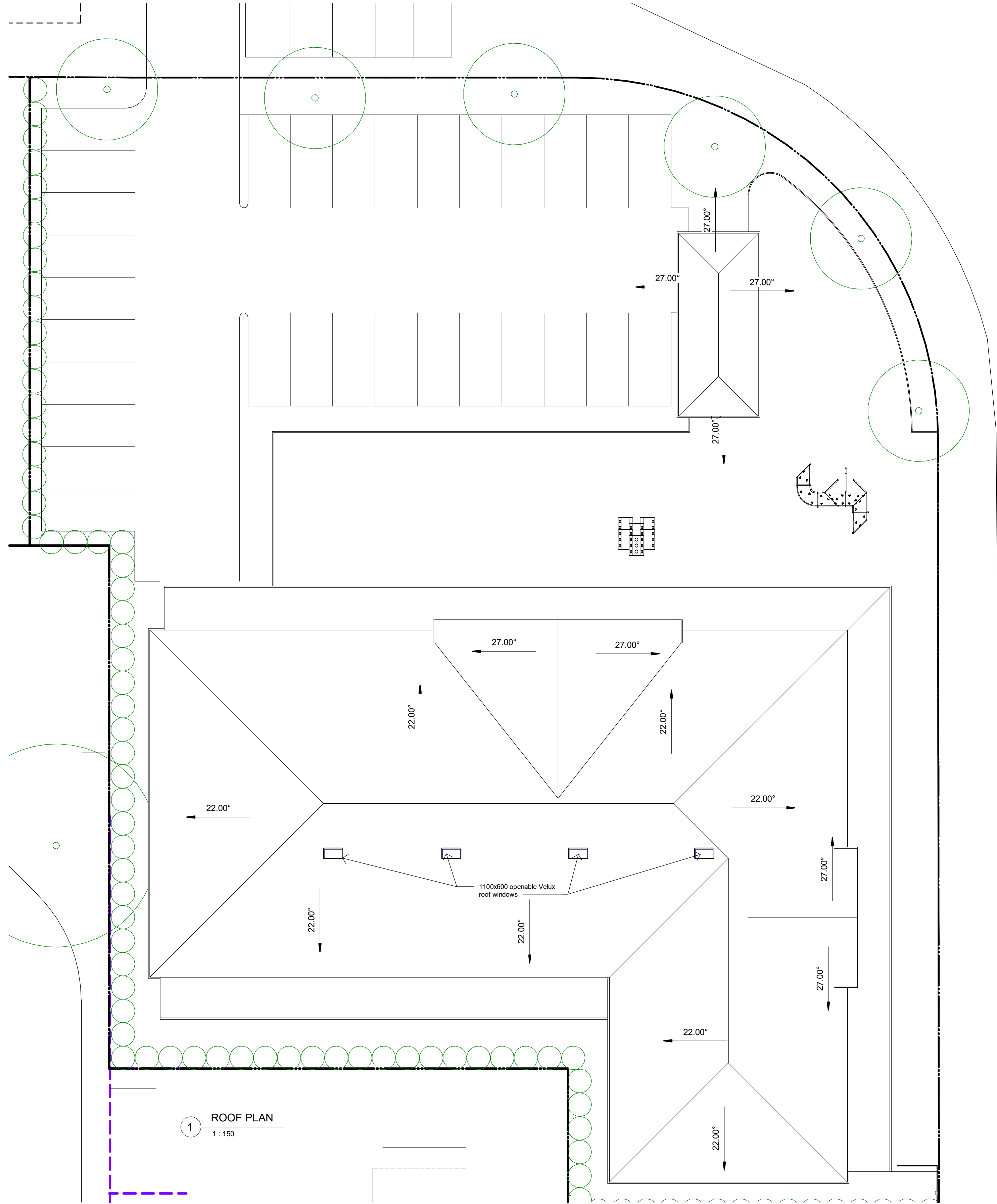
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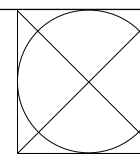


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DRAWING TITLE: **Roof Plan**

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DATE:	AUG. '24
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DWG NO:	DA09



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PROJECT: **CHILDCARE**

ISSUE: **DA**

DRAWING TITLE: **3D Views**

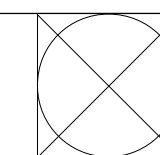
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PROJECT ADDRESS: **FENWICK CRESCENT, GOULBURN**

Issue date amendment



DATE: **AUG. '24**

DRAWN: **HG**

SCALE:

PR. NO: **FENWICK CCC**

DWG NO: **DA10**

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PROJECT: **CHILDCARE**

ISSUE: **DA**

DRAWING
TITLE: **3D Views**

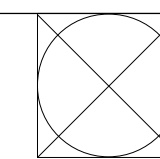
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ADDRESS: **FENWICK CRESCENT, GOULBURN**

Issue	date	amendment



DATE: **AUG. '24**

DRAWN: **HG**

SCALE:

PR. NO: **FENWICK CCC**

DWG NO: **DA11**

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